



40 Crabourne Road,  
Dudley Wood, DY2 0EJ

**Taylors**



# 40 Crabourne Road, Dudley Wood, DY2 0EJ

*BEAUTIFULLY PRESENTED & TREMENDOUSLY SPACIOUS, THOUGHTFULLY EXTENDED, DETACHED RESIDENCE*

- ROOM DIMENSIONS
- GROUND FLOOR
  - Hall
- Sitting Room with Dining Area - 27' 10" x 11' 1" (8.48m x 3.38m)
  - Kitchen - 14' 8" x 11' 3" (4.47m x 3.43m)
  - Utility - 9' 5" x 5' 6" (2.87m x 1.68m)
  - Guests Cloakroom
- Bedroom 4 - 20' 0" x 8' 10" (6.09m x 2.69m)
  - En-Suite - 7' 7" x 5' 5" (2.31m x 1.65m)
- FIRST FLOOR
  - Landing
- Bedroom 1 - 13' 5" x 11' 2" (4.09m x 3.40m)
- Bedroom 2 - 11' 6" x 11' 6" (3.50m x 3.50m)
- Bedroom 3 - 7' 4" x 7' 3" (2.23m x 2.21m)
- Bathroom - 8' 0" x 5' 4" (2.44m x 1.62m)
  - OUTSIDE
  - Driveway
  - Rear Garden
- ALL MEASUREMENTS TAKEN AT WIDEST AVAILABLE POINTS

These particulars are intended only as a guide and must not be relied upon as statement of fact. POTENTIAL BUYERS WOULD ALSO LIKE TO BE REMINDED THAT ALL MEASUREMENTS ARE TAKEN AT THE WIDEST AVAILABLE POINTS. Your attention is drawn to the important notices and disclaimers on the last page of these particulars.





This BEAUTIFULLY PRESENTED & TREMENDOUSLY SPACIOUS, THOUGHTFULLY EXTENDED, BAY FRONTED, DETACHED RESIDENCE is delightfully situated within this EXTREMELY SOUGHT AFTER RESIDENTIAL LOCATION which has SALTWELLS NATURE RESERVE & MUSHROOM GREEN CONSERVATION AREA within walking distance, combined with having Merry Hill Shopping Complex & Cradley Heath Train Station close by. This IMMACUATELY MAINTAINED PROPERTY is PERFECTLY SUITED for GROWING FAMILIES and furthermore offers a VERSATILE & WONDERFULLY ENLARGED LAYOUT of accommodation which in brief comprises: Impressive Reception Hall, Attractive Sitting Room being OPEN PLAN to a Pleasant Dining Room Area, Stunning Re-Fitted Kitchen with Integrated Appliances, Useful Utility, Guests Cloakroom, Spacious Ground Floor Bedroom with Luxury En-Suite Shower Room, Landing, Three Well Proportioned First Floor Bedrooms & Modern Four Piece Suite Bathroom. Furthermore with Block Paved Driveway which provides OFF ROAD PARKING & Secluded Rear Garden with Initial Patio Area for Alfresco Dining & Gated Rear Access.

EPC: D / Council Tax Band: C.

BHS9771

MISREPRESENTATION ACT 1967

These particulars do not constitute any part of an offer or a contract. Whilst every care is taken to ensure accuracy, no responsibility for errors or misdescription is accepted. Any intending purchaser must satisfy himself by inspection or otherwise as to the correctness of each of the statements in these particulars. The vendor does not make nor give and neither Taylors nor any person in their employment, has any authority to make or give any representation or warranty whatsoever in relation to this property.



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92-100)	<b>A</b>		
(81-91)	<b>B</b>		
(69-80)	<b>C</b>		
(55-68)	<b>D</b>		
(39-54)	<b>E</b>		
(21-38)	<b>F</b>		
(1-20)	<b>G</b>		
Not energy efficient - higher running costs			
England, Scotland & Wales		EU Directive 2002/91/EC	

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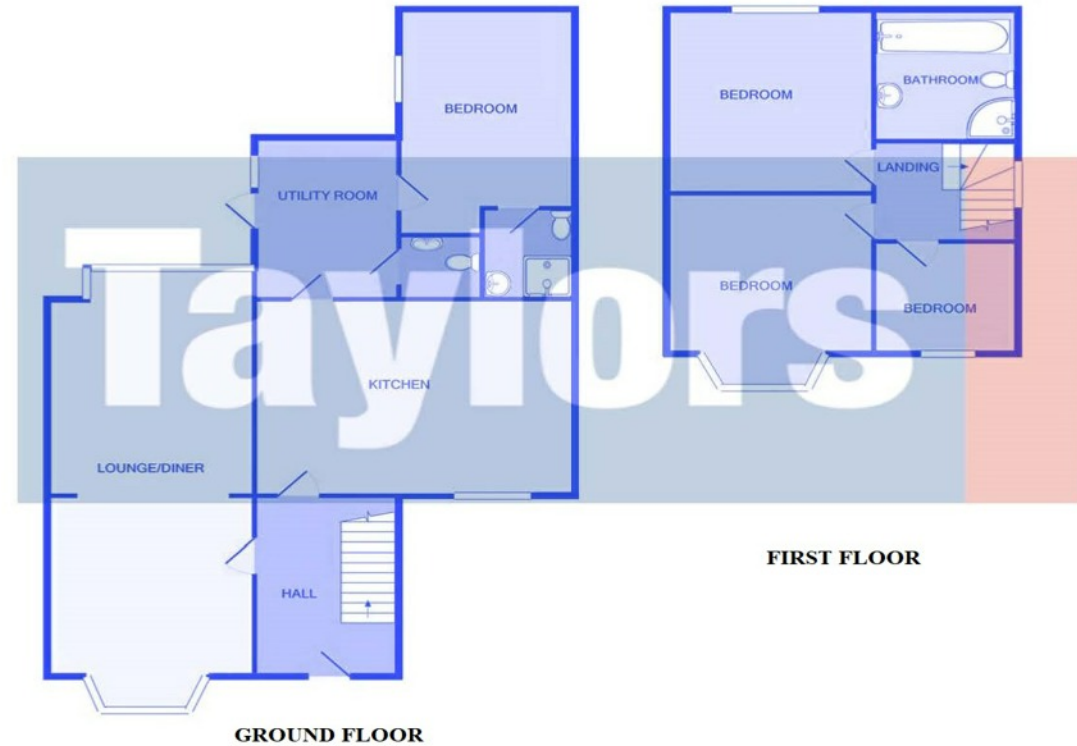
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# Taylor's

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